



# DESIGN GUIDELINES

# RETREAT ON WEST POINT LAKE DESIGN GUIDELINES

*Prepared by Caldwell Cline Architects & Designers*

Retreat on West Point Lake  
Design Review Board  
37 S. Lafayette Square  
LaGrange, GA 30240

The following Design Guidelines may be modified from time to time by the developer and the Design Review Board (DRB).

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# DESIGN GUIDELINES

## -VISION-



The purpose of the Design Review Board (DRB) is to maintain a set of standards to assist homeowners in the design and construction processes while maintaining the community theme and the aesthetic of Retreat on West Point Lake.

It is not the intent of the guidelines or that of the DRB to inhibit or restrict ones personal creativity, but to provide specific parameters to help establish Retreat on West Point Lake as a positive legacy for the town of LaGrange, Troup County and the state of Georgia.

In keeping with the spirit of the area, the architectural theme of Retreat on West Point Lake should reflect a relaxed and informal approach to creating living structures. Homes should be more than place to offer shelter from the elements; rather, they should themselves be alive, part of the landscape.

The Design Review Board, along with Retreat on West Point Lake Association Inc. are both dedicated to creating a lakeside theme with design and character appropriate to the surroundings and environmental factors indigenous to the community property.

Above all, the architectural character of Retreat on West Point Lake should reflect an environment that's relaxed, comfortable and fun, one that promotes relaxation, recreation and reflection. This is a place to kick back, have fun and spend time with family and friends.

Although they adhere to a defined set of design guidelines, homes in Retreat on West Point Lake may be varied in terms of design style. This variability will convey a sense of individuality and reflect a unique "sense of place."



# DESIGN GUIDELINES

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## -VISION-

This design philosophy treats each home and the whole area as a carefully planned addition to the natural environment which embraces the site and becomes one with it, natural, unobtrusive, and blending with the surroundings.

The use of native materials of natural stone, brick, timbers, exposed rafter tails & brackets, wood clapboard siding, cedar shakes, architectural roof shingles, metal standing seam roofs, wooden porches and decks is recommended and encouraged.

Property Owners and their design professionals are required to present site-specific plans utilizing man-made and natural materials to make the home an integral part of the landscape.

The homeowner and their design professionals are encouraged in the early planning stages of their home to work together with the Design Review Board (DRB) in designing their home.

The Design Review board (DRB) requires a phased process in which preliminary and final plans are reviewed for approval. This will allow the board to complete a preliminary conceptual review to ensure that all is in keeping with the guidelines before significant money or time is expended by the owner. This will in turn make the process proceed much more smoothly for all parties involved.

The Design Review Board and the Developer assumes no liability for either structural or design flaws as neither relating to submitted plans, nor any damages to neighboring property during the construction process.

The Guidelines should be read along with the Conditions, Covenants & Restrictions (CCRs) document. The Guidelines are provided as clarification and do not replace the provisions set forth within the CCRs. Pursuant to the Declaration of Covenants, Conditions & Restrictions (CCRs), the Design Review Board has full authority to adopt and amend architectural standards, regulations, policies, procedures and guidelines governing the size, construction, location, landscaping, material and design of improvements, structures, the contents and submission of plans and specification.



# DESIGN GUIDELINES

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# MINIMUM SQUARE FOOTAGE REQUIREMENTS

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\*Note: 1 ½ story homes are considered to be multi-story homes.

Minimum heated floor area for single-story home - 1,500 square feet

Minimum heated floor area for multi-story home - 1,500 square feet on first floor, minimum 1,900 square feet total heated/cooled square footage.

Definition of Heated Living Area: As used herein, “Heated Living Area” excludes basements (defined as any level in which at least one perimeter wall is below, or partially below grade), unless such basement areas have two or more perimeter walls above surrounding grade, and such basement areas are full heated and cooled and constructed to a quality equal to the above grade levels of the dwelling. In addition, Heated Living Areas excludes vaulted ceiling areas, attics, unheated porches, attached or detached garages, porte-cocheres and unheated storage areas, decks and patios.

***The Design Review Board (DRB) reserves the right to modify minimum floor areas and/or other requirements on specific home sites for purely aesthetic, site specific, or topographic conditions and requirements at its discretion.***





# MASSING & PROPORTIONS

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- Overall building mass should emulate one and one half story massing.
- Full two story massing should be avoided by the introduction of one-story elements or varied cornice lines.
- Porches should have an independent roof structure separate from the main building mass.



- The introduction of copper or metal accent roofs over front porches is strongly recommended.





# MASSING & PROPORTIONS

## -OVERALL BUILDING HEIGHT AND CEILING HEIGHT-



Each home submitted to the Design Review Board is evaluated as to lot specific site topography and views from adjacent structures. The structure height may be one story up to no more than two and half stories without basement and three a half stories with full daylight basement. No structure on any home site can extend above 40 feet above grade and shall not exceed height limit of main structure on home site. The maximum height of a structure will be calculated based on the vertical distance from the grade (i.e. the average of the highest and lowest elevations at which the structure meets the ground) measured to the top of the highest roof peak.

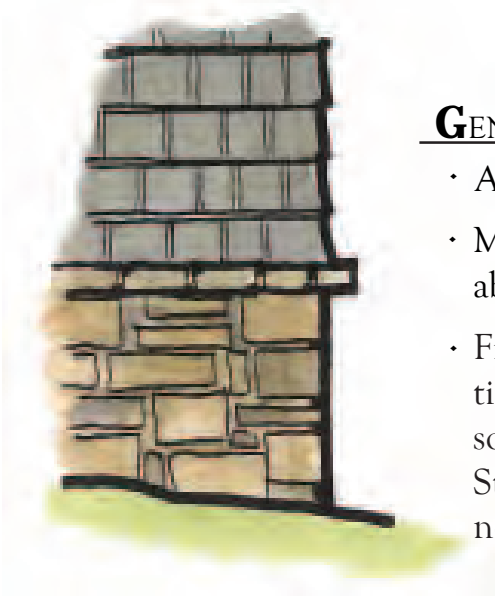


Minimum Ground Floor Ceiling Height is 9 ft. Minimum window and door header height of 6'8". Transoms above minimum header height of windows and doors are permitted. See additional specifics for windows and doors in their designated sections of this document.



# FOUNDATION/SLOPE CONDITIONS

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## GENERAL

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- All foundations to be masonry materials.
  - Main level finished floors to be 18" to 30" above finished grade at front elevation.
  - Finish materials to be used on exposed foundation walls and piers are stone, stucco and masonry only. Exposed concrete block not allowed. Stone shall be native stacked stone or stone veneer.
- 
- DRB requires stone size to be a minimum of 4" and requests scheduling of an onsite inspection by a DRB representative for approval of materials and installation by means of a mock-up board. The sample shall be a minimum of 2'-0" square sampling of the material specified and installed to illustrate specific installation methods. Three day minimum appointment advance notice is required for scheduling. DRB turnaround time for approval shall be 7 days after onsite visit.
  - As it relates to high foundation walls and retaining walls, the DRB may at its discretion impose additional requirements to de-emphasize the mass of the wall as it relates to its surroundings.
  - No slab on grade construction is allowed. Finish floor elevations for the main floor shall be a minimum of 18" above grade. Typically, water table shall be 4" below first finish floor.



# FOUNDATION/SLOPE CONDITIONS

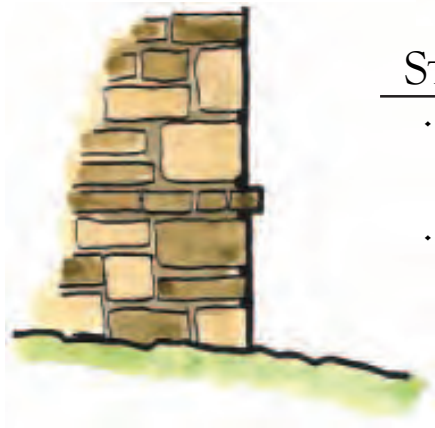
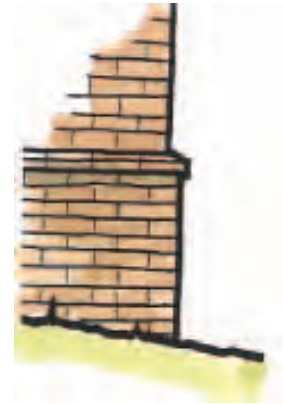
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## BRICK

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- Introduce break of plane at 4" below main level finished floor line
- Brick shapes, rowlock band or stone ledge are acceptable breaks



## STONE

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- Introduce break of plane at 4" below main level finished floor line
- Stone ledge or band are the only acceptable breaks



## SIDING AND SHINGLE

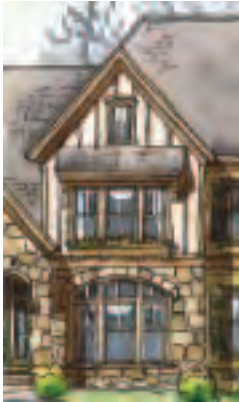
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- Foundation below must be masonry material (brick, stone or stucco)
- Drip cap at transition or skirt board are acceptable transitions based on the character or architecture



# EXTERIOR VENEERS

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## GENERAL

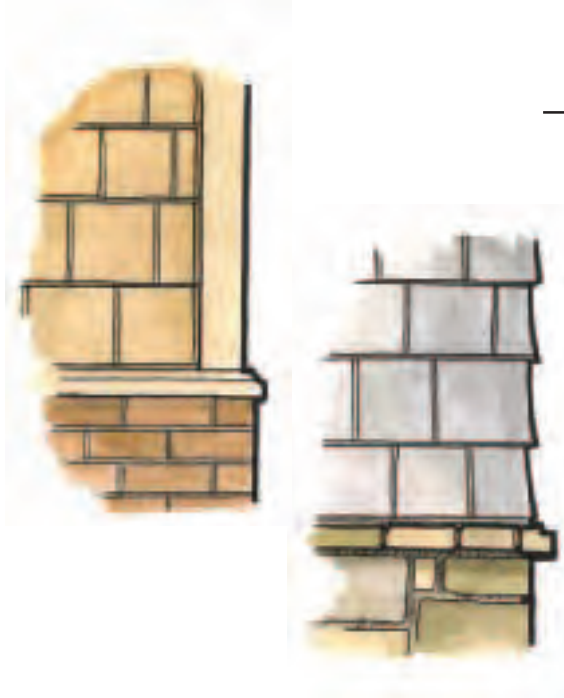
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Mixing materials is a recommended method for adding character and breaking up the mass of the home. Any change of materials is to occur on an inside corner. No material change is to occur such that the thickness of the material is clearly visible.

## SIDING

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- Horizontal siding to be solid wood or concrete solid board such as hardi plank or equal.
- Horizontal siding to be 6" maximum exposure and 4" minimum.
- Corner boards to be 1"x 6" corner boards typical.
- No vinyl siding is permitted.



## SHINGLE

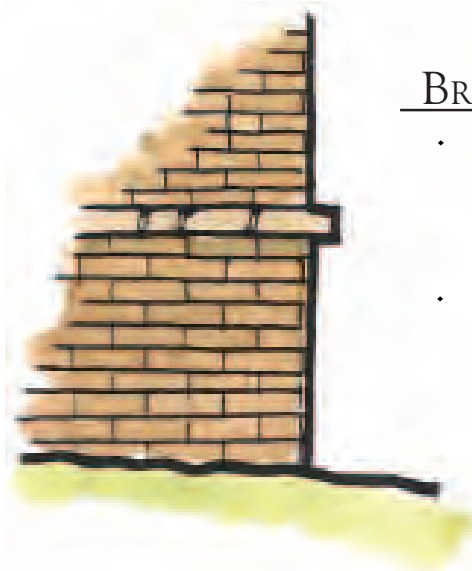
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- Shingle siding to be cedar or concrete shingle.
- Shingle pattern to be varied width with straight or sawtooth pattern.
- Woven corners are strongly encouraged but 1"x 6" minimum corner boards are acceptable.



# EXTERIOR VENEERS

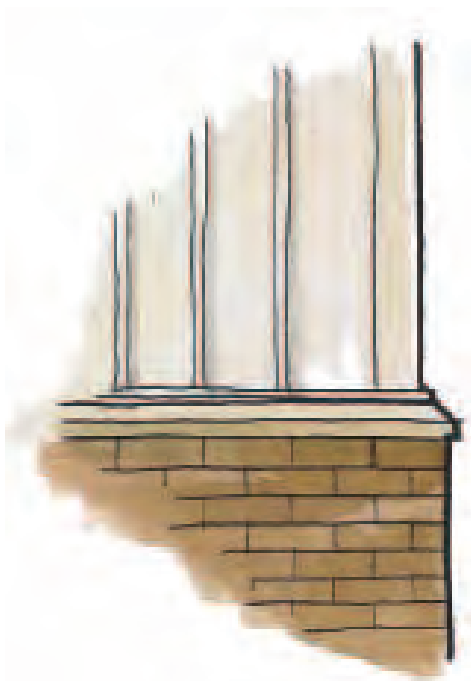
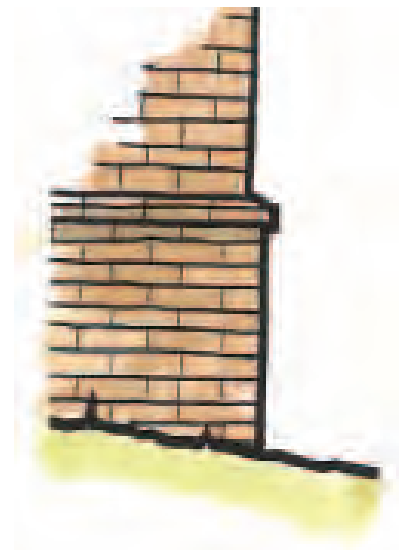
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## BRICK

- Brick to be wood mould or wood mould textured brick with varied color and texture.
- Earthtone brick colors are strongly recommended.

- Mortar colors should be a contrasting but complementary color to the brick used. Recommended color ranges include buff, coosa light, ivory buff, grey and sand.
- No red mortar is to be used in the development.



- B&B should be cedar boards or concrete panels with 2x cedar strips at 18" o.c. typical.
- Corner boards should be 1"x 6".



## STUCCO

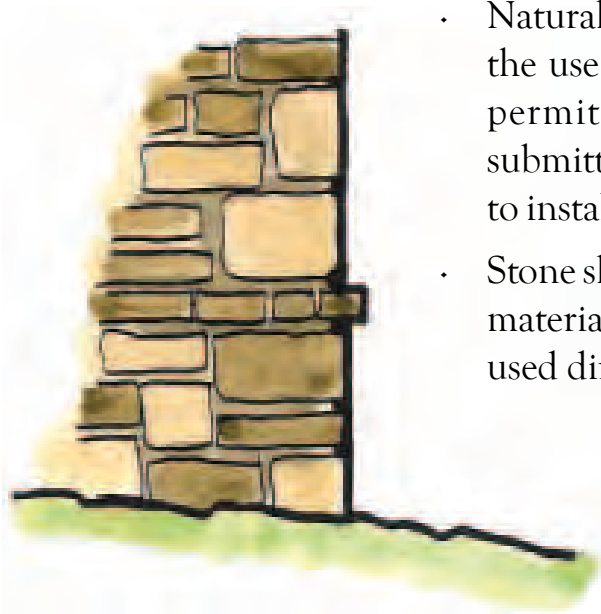
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- Stucco is to be true masonry stucco. No EIFS synthetic stucco is to be allowed.
- Stucco is not to be allowed as an applied accent over brick.
- Use of stucco is subject to DRB approval.



## STONE

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- Natural stone is strongly recommended but the use of approved synthetic stone will be permitted. Any stone palette must be submitted to the DRB and approved prior to installation.
- Stone should not be supported by any other material. For example stone should not be used directly above a brick foundation.



# WINDOW TREATMENTS

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## GENERAL

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- All Windows to be True Divided Lite or Simulated Divided Lite.
  - Grid Between the Glass or Snap in Mutton windows are not permitted.
  - All double hung or casement windows should have a mutton style of the home.
  - Windows without muttons are not permitted.
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- Window type, style, casing and mutton pattern should be consistent around all sides of the house.
  - Casing width should be 3-1/2" minimum. Recommended casings include 1 x 4 with backband, WM-3, 1 x 4 or equal.





# BAY WINDOWS

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## GENERAL

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- Both angle bay windows and box bay windows are appropriate based on the style of architecture.
- The front and sides of all bays are to be wood or composite material to emulate wood. The exception to this guideline would be a shingle bay with mitred corners.
- Careful attention should be given to the height of the area above the window head. This should be minimal and often requires a lower ceiling inside the bay.
- Masonry material should not be used on a bay window.



- Bay window overhangs on the front and sides should be minimal and equal on all sides, not to exceed 6”.
- Bay Windows – Bays on front or side of house should have a foundation or brackets, and be paneled, bricked or stucco’d or as approved. On the front elevation, bays shall have 4 or 5 inch offset at house wall to accommodate brick where necessary.



# SHUTTERS & DORMERS

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## SHUTTERS

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- All shutters should be ½ the width of the adjacent window and of the same height.
- All shutters should have shutter dogs.
- Approved shutter styles include panel, louvered and batten. Other shutters must be approved prior to installation.



## DORMERS

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- Dormers should be appropriately detailed and proportioned to match the historic precedent for the particular style of the home.
- Particular attention should be given to the area above the dormer window. This area should be minimal and in proportion with the rest of the dormer.
- Dormers should never receive gutters or downspouts.
- The overhangs on the sides and front of the dormer should be minimal and equal on all three sides.
- Dormers: Dormers rake and eave overhangs may not exceed 6 inches.



# DOORS

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## GENERAL

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- All exterior doors will be 8'-0" tall with ten foot ceilings and 6'-8" with nine foot ceilings.
- 6'-8" doors with transoms are permitted in lieu of 8'-0" doors.
- No stained glass or ornate decorative glass doors will be permitted.
- No two story glass entries will be considered appropriate.
- Storm and screen doors need approval from the DRB.



# GARAGE DOORS

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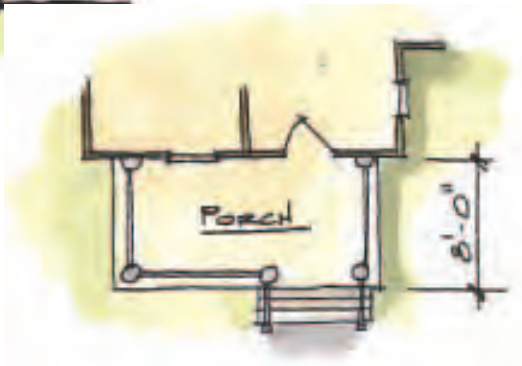
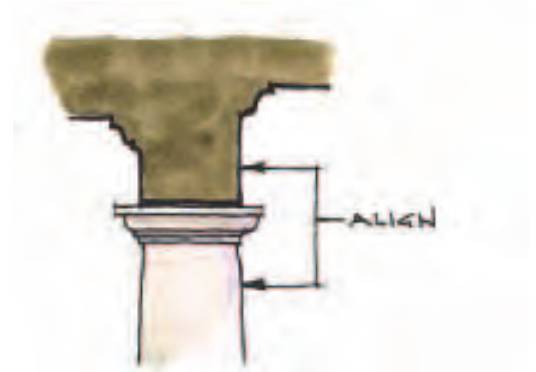
## GENERAL

- Garage doors are to be a carriage type garage door from wood or a composite material that emulates wood.
- Standard sixteen panel garage doors are inappropriate.
- Flush doors without applied moulding is inappropriate.
- Garages must have two separate garage doors. No double wide or three car front entries will be permitted.



## GENERAL

- All front porches are to be a minimum of 8'-0" deep.
- Round or square columns are appropriate but careful attention must be given to the correct proportions of the width and height to match the style of the home.
- The column shaft directly below the capital must align with the outside face of the entablature above.
- Two story porches are not appropriate but double stacked porches are appropriate for certain architectural styles.
- Porches must be supported by a masonry foundation. If the porch is supported by masonry piers, the area between the piers must be screened. Appropriate screening materials include pierced brick, louvered panels, stucco panels and 90 degree lattice. Diagonal lattice is inappropriate.
- Porch entablatures to be a minimum of 12".
- Stoops, porches and steps on front and sides of houses shall be brick, stone or stucco unless otherwise approved by DRB. No exposed concrete is allowed.
- Steps to grade at all front entries are to be a minimum of 5'-0" wide and attach to a walkway of the same width.



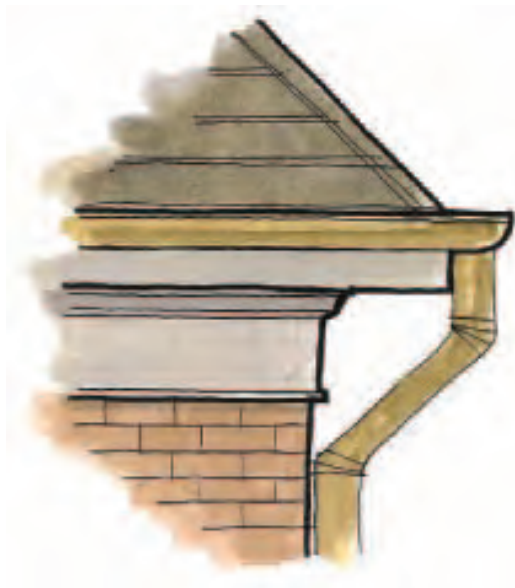


# CORNICE & TRIM

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## GENERAL

- Cornice proportions and style should be in keeping with the character of the home.
- Metal flashing in cornice returns is to be installed at a maximum 3:12 pitch.
- Flashing inside of all gables not to exceed a 6:12 pitch on shingle roofs.
- “Birdbox” style cornice returns are inappropriate.
- Half round or ogee gutters are approved but all downspouts are to be round.
- Traditional closed cornices as well as exposed rafter tail cornices are appropriate but must match the character of the home design.
- Typical over hang will be 12".



## GENERAL

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- Appropriate roof materials include but are not limited to:
  - Fiberglass shingles 300# minimum
  - Cedar shingles
  - Cedar shakes,
  - Slate, Synthetic Slate (sample must be approved)
  - Standing Seam Metal ( Encouraged for accent roofs only)
- Roof flashing – Exposed metal roof flashing, stack vents, attic ventilators and chimney caps shall be painted to match roof color or flat black. All vent stacks and ventilators must be located on the rear slope of roof unless otherwise approved.
- Step flashing exposed on finished wall surface should be copper or be painted to blend with adjacent materials (brick or roof). DRB must approve color. Size of flashing steps should not exceed 8 inches horizontally or vertically.
- Ridge Vents shall be Cor-Vent type (covered with ridge shingles) or approved equal.





# MECHANICAL EQUIPMENT & EXTERIOR LIGHTING

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## EXTERIOR LIGHTING

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All exterior lighting is to be controlled to prevent lighting of unoccupied areas around the home and site. All lighting shall be minimal in scale and brightness as to allow for safe walking along paths, sidewalks, decks, drives and etc. All exterior light fixtures shall be shielded so that the light source is not visible from any areas along the property line of the home. Up lighting to feature tree canopies may be allowed with DRB review and approval. Exterior lighting plan approval is at the discretion of the DRB and must be included in detail with the final plan submittal application.

Exterior lighting on the home must be in keeping with the architectural style of the structure and in compliance with any Lighting Ordinances if applicable. No bright metal finish will be approved.

Colored exterior lighting is prohibited except for Holiday Seasonal Lighting which may be displayed from November 15 to January 15.

Lampposts styles and materials should be in keeping with the existing exterior fixtures, and is subject to DRB approval.

## MECHANICAL EQUIPMENT

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Air Conditioners: Compressors shall be located on sides or rear of house and shall be screened from street-view by approved plantings or fences. Propane tanks must be buried.

Location and screening of all mechanical and utility equipment shall be included with the final plan submittal to DRB.





## GENERAL

- All wood type fencing must be stained or painted with earthtone colors and approved by the DRB.
- All Painted aluminum fencing must be black.
- Chain Link fences, front yard fences and dog runs are prohibited.
- All Fence designs must be submitted to the DRB for approval.

## GENERAL

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The area is rich with a wide variety of plant species and natural ground cover vegetation. Maintaining the native vegetation in the undisturbed areas of individual home sites allows for the homes to blend more naturally into the surroundings. A detailed Landscape Plan for your specific home site is required to be a part of submittal to the DRB and prepared by a landscape architect or landscape designer. From the tree canopies to extensive groundcover, each plant selection should work in harmony with the existing vegetation of each lot. Our goal from the street with the landscape design is to make the house feel as if it is nestled in the natural environment. Dense evergreen planting between home sites will help provide additional privacy, taking into consideration no restriction of view corridors. Minimum shrub sizes to be used determined by DRB at their discretion. Determination based on site specific needs and types of plantings proposed.

Natural areas which disturb less of the existing vegetation are encouraged over expanses of grass. Attention to maintaining views from your home site, as well as adjacent lots is required.

A landscape plan must be submitted and approved by the DRB prior to install.

Towers, antennas, or other apparatus for the transmission or reception of television, radio, satellite or other signals of any kind, any freestanding transmission or receiving towers are not allowed on roofs nor located on any home site. One satellite disc or dish no larger than eighteen (18") in diameter may be allowed. Any additional increase in number requires pre-DRB approval at its sole discretion.



## LANDSCAPE ELEMENTS

- Any decorative yard art is subject to DRB approval
- Clotheslines, if used, must not be visible from the street, trail system, lake or other homes.
- Playground equipment design, materials and locations will be reviewed on a case-by-case basis at the discretion of the DRB.
- All household trash receptacles must be located on the rear 50% portion of the house. An approved enclosure or screening is required. All trash receptacles shall be roll-out cart type or as required by your trash collection company. Trash receptacle shall not be placed at the curb earlier than the evening before trash day pick-up and must be removed from street by evening that same day.
- Flags, flag poles and decorative flags attached to house will be reviewed by the DRB on a case-by-case basis for consideration. Final decision is at the sole discretion of the DRB.
- Pet enclosures, pet house, basketball goals, tree houses or similar improvement will be reviewed by the DRB on a case-by-case basis for consideration. Final decision is at the sole discretion of the DRB.
- Window air conditioning units are prohibited.
- Location and detail of propane tank must have DRB approval to include tanks being buried and fill necks screened. Propane tanks will only be allowed to be used if natural gas is not available.
- In ground irrigation systems are allowed.
- Well houses shall be built with materials and color palette to match main house structure. Location on home site shall be dictated by site plan and septic location on subject lot.



# MAILBOXES & SIGNAGE

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## MAILBOXES

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A standardized mailbox specific model, color and manufacturer will be provided to the owners/builders by the DRB. The owner/builder will purchase the approved mailbox and install on home site upon obtaining Certificate of Occupancy. The installation regulation guidelines shall be in compliance the U.S. Postal Service criteria.

## SIGNAGE

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No signs, banners, balloons or marketing identifying Homes, autos or other items For Sale, For Rent or For Lease are permitted on any homesite, in the windows of any home or structure, on any deck, on any fence, on any right-of-way, vehicle or easement area at any time unless placed by or at the discretion of the Developer.

The DRB will provide design criteria for builder signs and permit boxes. The purpose of these signs is to identify job sites. These must be removed within 30 days of completion of construction or occupancy.

The developer is permitted to use and place signs or any other marketing tools for any purpose at any location.



## GENERAL

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In ground pools are allowed. DRB approval is required for the construction installation of pools or spas. Pools shall be an integral part of the deck, patio and/or rear yard landscaping. All pools shall have an enclosure in compliance with any state, county or local town ordinances and screened from view from all streets with landscaping and/or fencing, with all equipment located within screened area from all directions.

Pools will be allowed in the rear yard and side yard areas only and shall be located in such a way that it is not immediately visible to adjacent property owners and shall not create an unreasonable level of noise for adjacent property owners. Any lighting of a pool or spa shall be designed so as to buffer the surrounding residences from the lighting. Pools are prohibited on street side of corner lots. Above ground pools, either permanent or portable are not allowed. Pools and decks may not be built outside of any building setback areas. (If applicable, any local zoning requirements shall control).

Pools and spas and enclosures should relate architecturally to the home and other structures in their materials and detailing and included in the final landscape plan submittal. Above ground spas may be allowed in rear and side yards site specific at the discretion of the DRB, as above they will not be for consideration on the street side of corner lots. They must install DRB approved skirting materials.



# OUTBUILDINGS & WELLS

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## GENERAL

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- Outbuildings are strongly encouraged.
- Auxiliary structures should be of materials and architectural character to match primary residence.
- Larger buildings should be broken into two masses. Avoid single large mass structures.
- Lower pitched roofs, brackets, accent shed roofs and metal roofs are appropriate.
- Mix of materials is encouraged and masonry should be used sparingly and as an accent material on foundations.
- Avoid full masonry buildings.
- No detached structure of any kind, including but not limited to tool sheds, dog houses, playhouses and play structures, may be erected on any lot unless approved by the DRB.
- Pre-built structures will not be approved unless they are built to match house details and materials.

## WELLS

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- Wells and well equipment must be suitably screened and preferably located inside a well house.
- Well structures should follow the same general guidelines as outbuildings.
- Approved screening will consist of approved fencing or planting material. No artificial stone or faux coverings shall be used to screen well equipment.





# DOCKS & BOAT SLIPS

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## COMMUNITY DOCKS

- All activities on and within areas of West Point Lake Shoreline and adjacent access area have described use and activities that may be permitted along the shoreline and is governed by the U.S. Army Corps of Engineers as outlined in the Shoreline Management Plan for West Point Lake.

## BOAT SLIPS (INDIVIDUAL OR COMMUNITY DAY SLIPS)

The following Rules and Regulations shall apply. If any listing below is deemed in non-compliance as to usage or approved activity by the Army Corps of Engineers definition said Corps guidelines shall control:

- Assignee (hereinafter “Slip Owner”) and their guests agree to conduct themselves in a manner that will not interfere with other vessel owners or the normal business operation of the dock. Consideration must be given to others as to language, actions, noise, especially between the hours of 8:00 p.m. and 8:00 a.m.
- All vessels must be properly moored and tied with adequate mooring lines so as to prevent damage to other boats, docks/piers or pilings. The Slip Owner is obligated to supply its own mooring lines of proper size and condition to safely secure their vessel and lines safely stowed on dock/pier. Mooring lines may be white, navy blue, royal blue, red or hunter green. No day glow or hot bright colors may be used.
- Slip Owner must carry and maintain in force all required permits, registration and applicable insurance required for their vessel.
- Slip Owner shall not store any supplies or equipment on walkways or docks, or construct any structure, mount any equipment, TV antennas or install carpet on any dock/pier or slip area without written permission from the Developer. Unauthorized items will be removed and disposed of by Developer at the Slip Owner’s expense and risk.



# BOAT SLIPS

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- Pre-approved locker design and manufacturer will be provided by Developer to all Slip Owners for installation at their slip/location at Developer discretion and approval.
- Refuse and garbage must be placed in plastic bags and properly disposed of by Slip Owner. No refuse should be dumped into the water. No fish cleaning may be done at or on any community dock or surrounding area.
- Slip Owner agrees not to idle the vessel in gear while tied at the dock/pier.
- Pet must be in Slip Owner's or guests control at all times. Dogs must be on a leash and must be walked off premises. Slip Owner or guests are responsible for cleaning up droppings.
- Cooking devices other than original fixed equipment from the vessel manufacturer must not be used on or off the vessel within the slip or dock/pier location.
- The use of portable heaters is not permitted aboard any vessel. Only those fixed heaters originally installed on vessels as furnished from the vessel manufacturer are permitted.
- Slip Owner/user is not permitted to discharge the contents of the heads aboard its vessel while at the dock/pier.
- Any condition on or around a vessel declared a hazard in the judgment of Developer shall be removed to the satisfaction of Developer within seven (7) days of notification of the hazard to Slip Owner in writing.
- Only non-toxic anti-freeze can be used in the dock/pier or adjacent areas,
- Slip Owner shall provide Developer with day and night contact telephone numbers and address at which Slip Owner can be reached in an emergency and to which mail shall be addressed.



- Laundry shall not be hung on boats, docks/ piers.
- Children must be accompanied by adults and/or wear approved life preservers while on docks/piers or near shorelines.
- No running on docks/piers.
- When entering or leaving the dock/pier area, vessels must be under power and create minimum wake while obeying these Rules and Regulations, along with any applicable state or federal laws and regulations.
- For Sale signs and/or any other form of advertisement will not be displayed by Slip Owner on vessel or any portion of dock/pier or slip unless authorized in writing by Developer. If violation occurs, removal of signage shall be taken by Developer.
- Developer shall have the right, but not the obligation, to take such steps that in its sole discretion are reasonably necessary to protect any vessel while at the dock/pier. Slip Owner shall be obligated to pay the Developer for any labor and materials supplied plus an interest fee amount allowable by law until the labor and materials are paid in full. Notwithstanding the fact that Developer may take such steps, Developer does not assume any responsibility for said protection and/or damage to the vessel, Personal property or personal injury. Nothing contained herein shall be construed to impose upon the Developer any duty to Slip Owner/user to protect Slip Owner's/user's vessel or property.
- Developer makes no representation regarding the adequacy of water levels for ingress and egress. Developer is not responsible for damages resulting, directly or indirectly from low water levels.



## GENERAL

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Driveways are an extended feature of the home site and should blend naturally with their surroundings. Owners/Builders are required to install a driveway from the street edge to the garage and guest parking areas of each home. They should not be the prevailing features of the site and should not cover more than 20% of the front lot areas of the home site.

Driveways shall have a 12' 6" deep apron from the back of the curb of broom finished concrete at least 6" in depth with standard radii. The driveway beyond the apron may be pavers, brushed, stamped, stained, exposed aggregate concrete, asphalt, or loose stone such as pea gravel or river rock. No crusher run style gravel. Paved driveways shall be 12 feet wide and loose stone drives shall be a minimum of 10 feet wide.

Curb cuts for driveways shall be 20 Feet wide allowing for standard radii for the driveway apron. New curb sections across the mouth of the driveway shall maintain a valley with a minimum 1" tall back section.

Driveway apron, curb cuts and driveway installation must not impede or alter the master drainage plan and must be built and maintained to control drainage and erosion on the Homesite and the ROW.

If installation of a culvert is required at time of construction, the size and detail specifications must meet any local, county, state or federal requirements. Materials and construction criteria will be the decision of the DRB based on installation requirement proposed by any governing authority. These specific guidelines will be provided to the owner/builder.

Guest parking areas for up to two cars is required and must coordinate with like materials used on the driveway. These areas must be screened from the street with landscape plantings. Location of these areas to be included with the final plan submission.



# GENERAL REQUIREMENTS

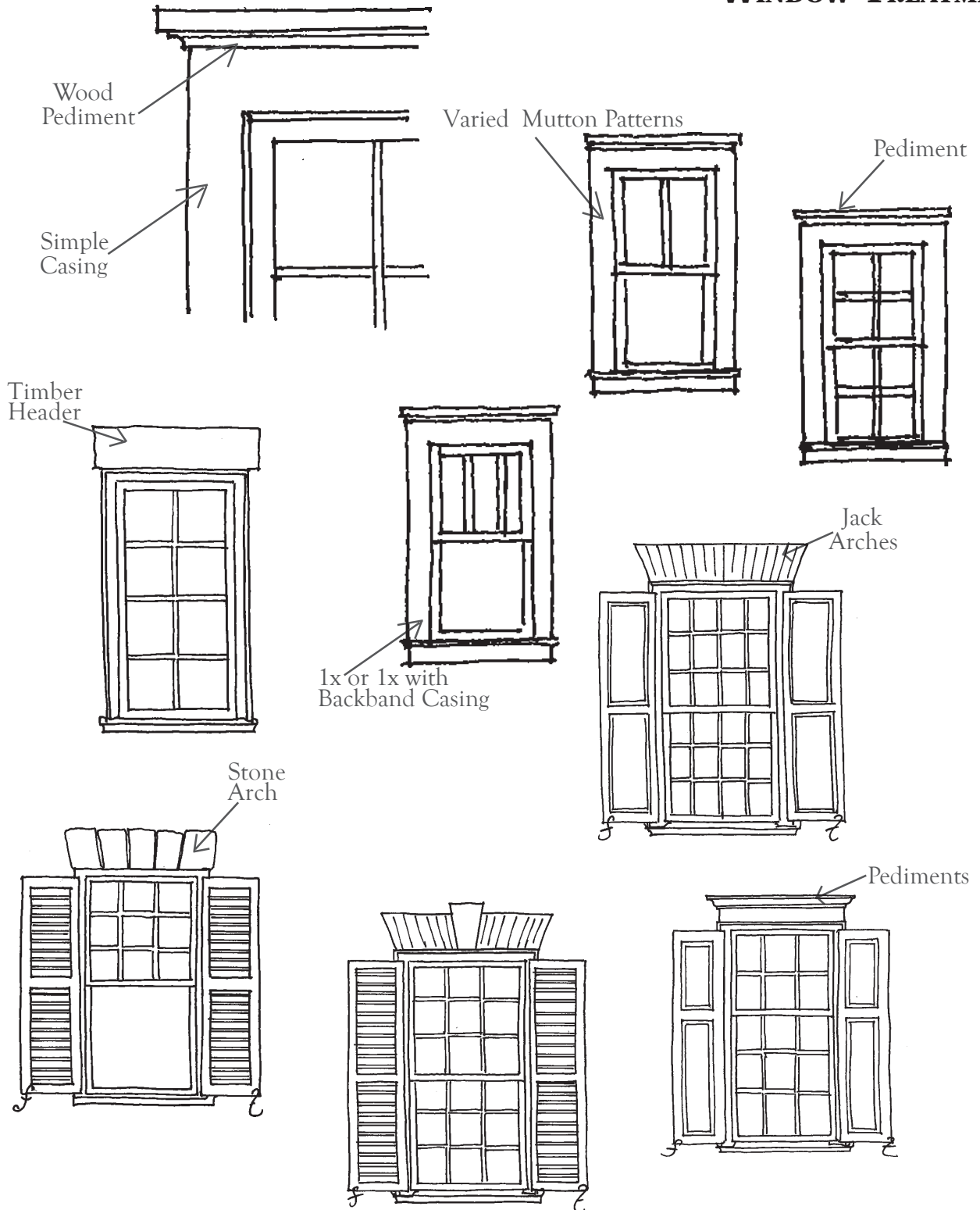
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- House plans, site plans, landscape plans, exterior colors and materials, roof colors and fences must be approved by the DRB prior to land disturbance.
- Exterior color palettes should be in the earthtone color ranges. Pastels should be avoided wherever possible and overall colors should complement the “natural” environment of the development.
- Chimneys visible from any street shall have painted metal or copper shrouds. DRB must approve design of shroud. Approved exterior chimney finish materials include, natural stone and stucco. Wood and other types of siding are not allowed on chimneys. No cantilever on chimneys.
- Skylights – No skylights shall be on front slope of any roof. Skylights must have bronze or black anodized frames. Bronze glass is recommended.
- Retaining walls shall be finished with masonry to match the house foundation if visible from the street or as otherwise approved. Retaining walls not visible from the street should be painted or parge coated stucco.
- Recreational Vehicles - All homeowner-owned recreational vehicles such as: trailers, motor homes, campers, boats, canoes, kayaks, golf carts, four-wheelers, motorcycles, and bicycles must be parked within the home’s standard garage or outbuilding. Preferable location is the Community Storage location if available. Recreational Vehicles of guests visiting property owners will be allowed to park in home driveway location for a period not to exceed 7 days.



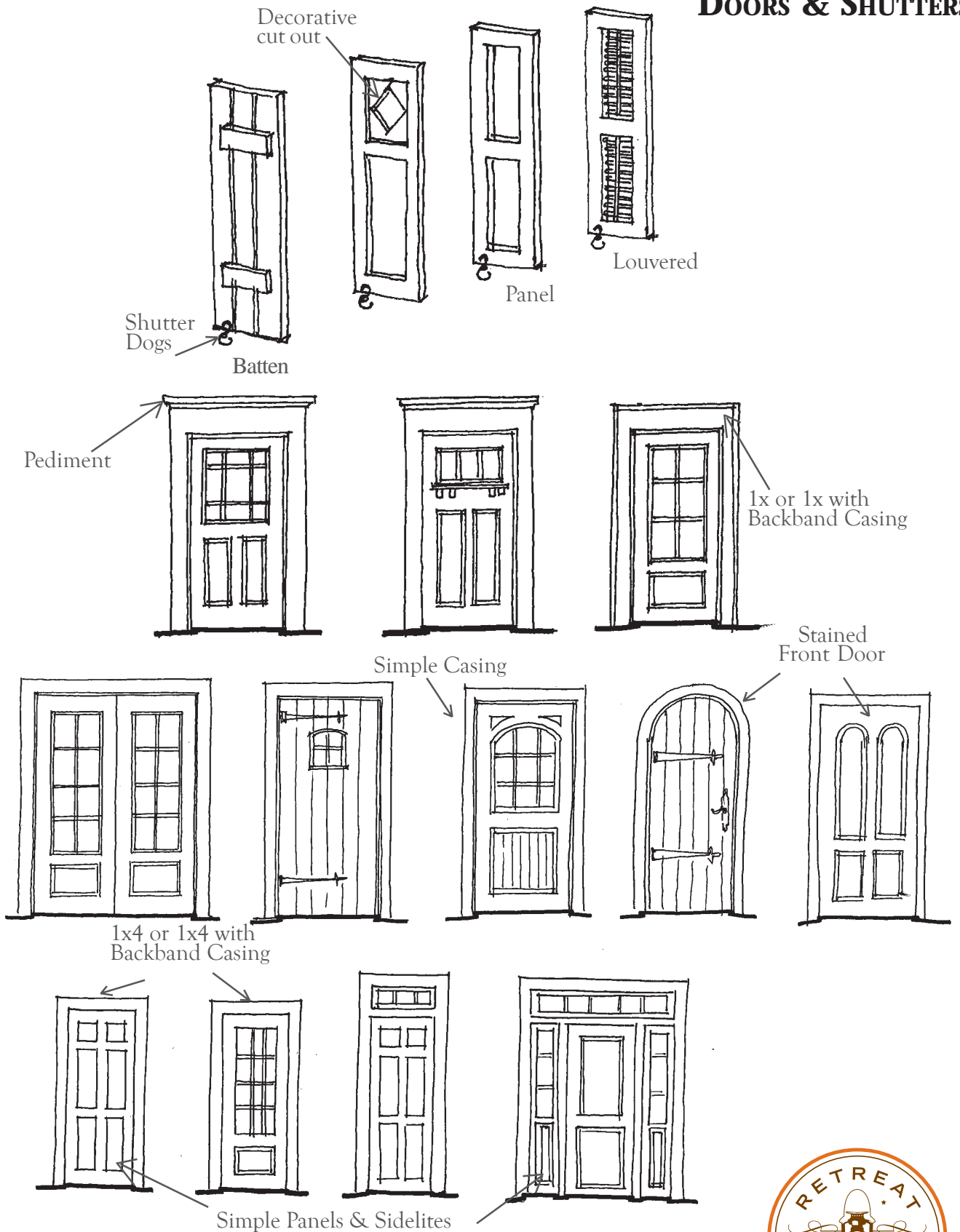
# ARCHITECTURAL DETAILING

## WINDOW TREATMENTS

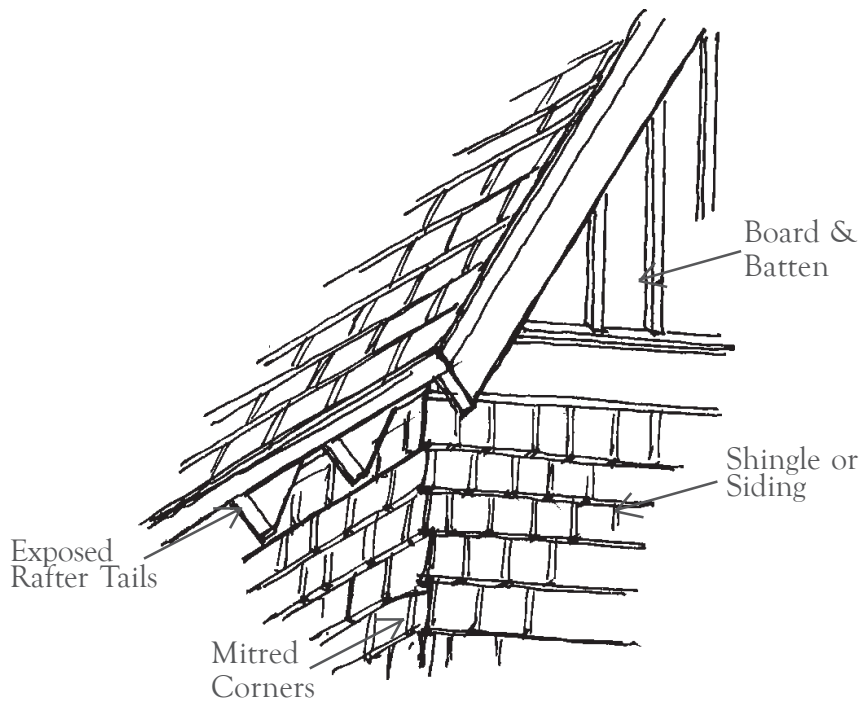
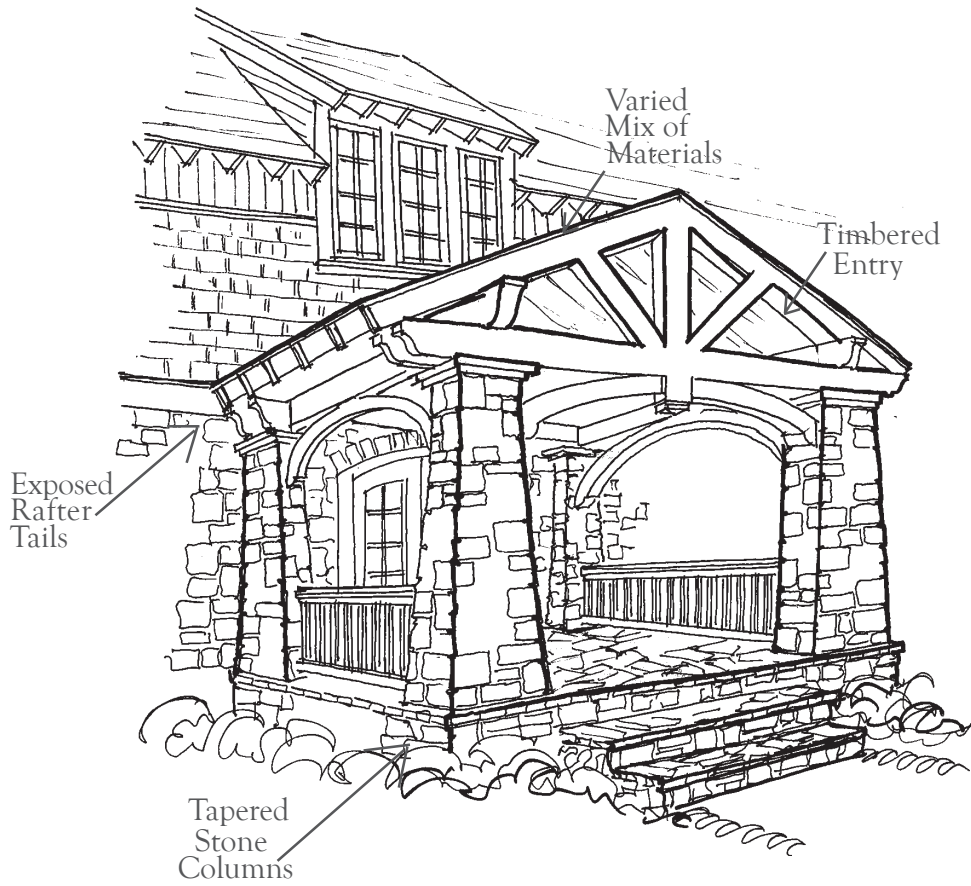


# ARCHITECTURAL DETAILING

## DOORS & SHUTTERS

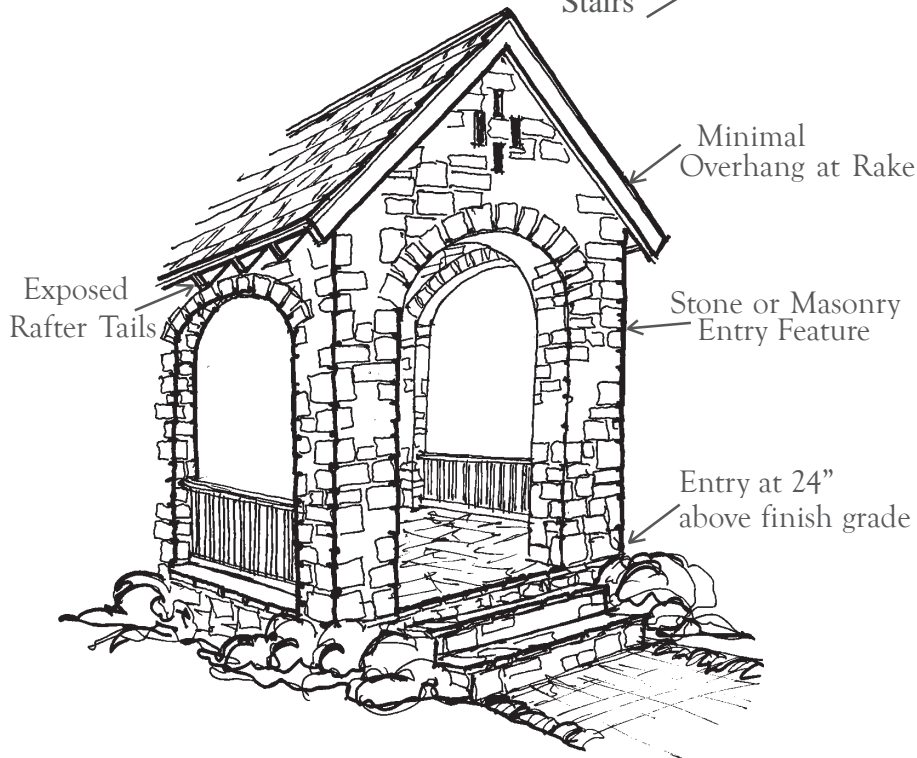
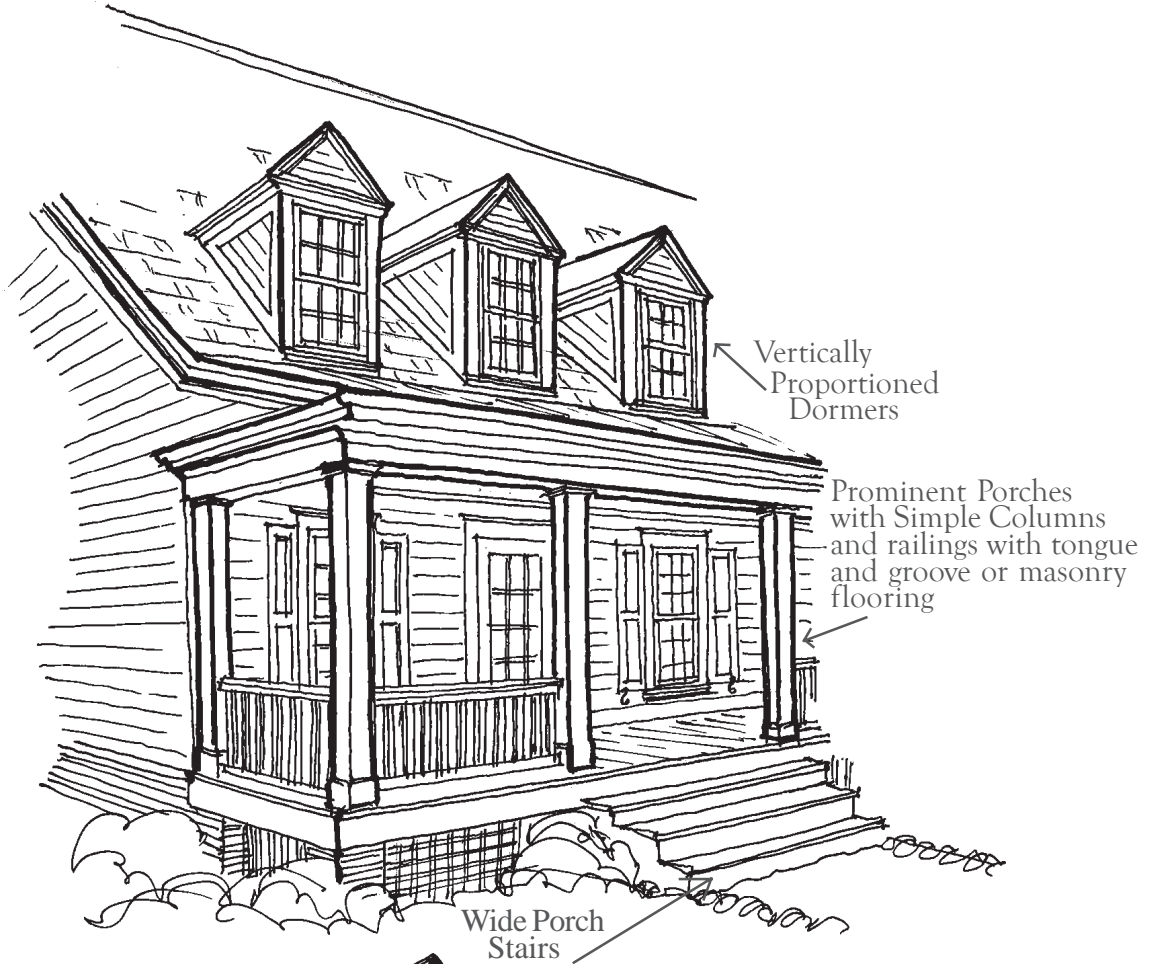


# ARCHITECTURAL DETAILING



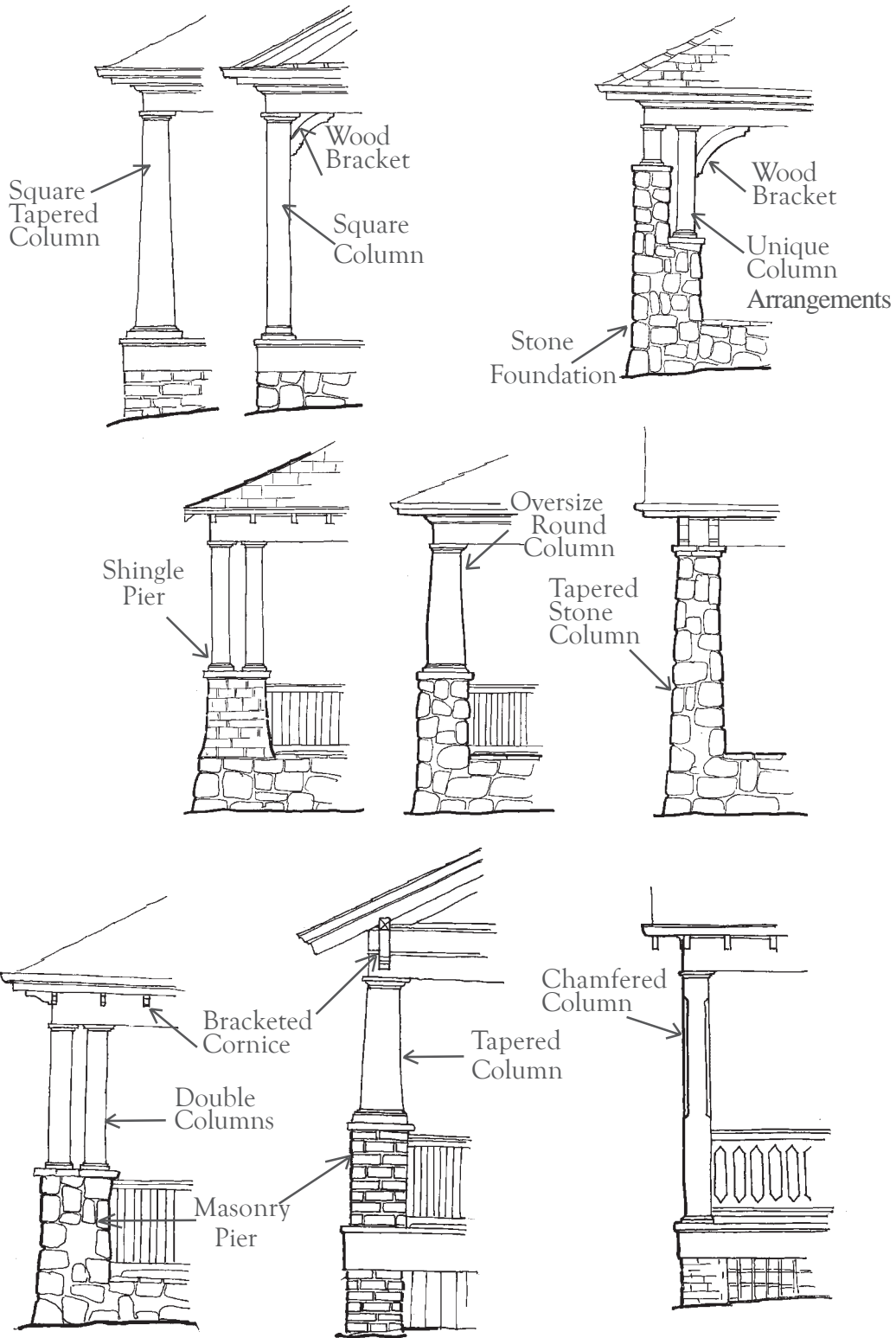


# ARCHITECTURAL DETAILING



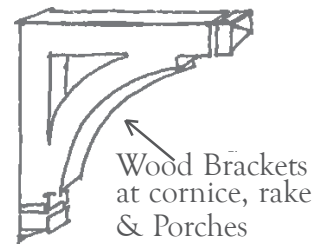
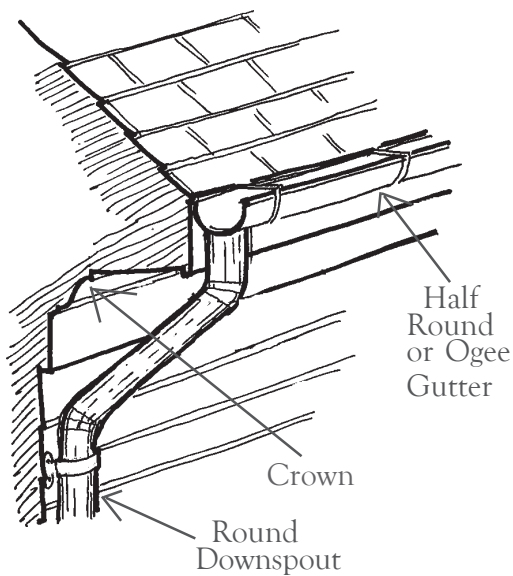
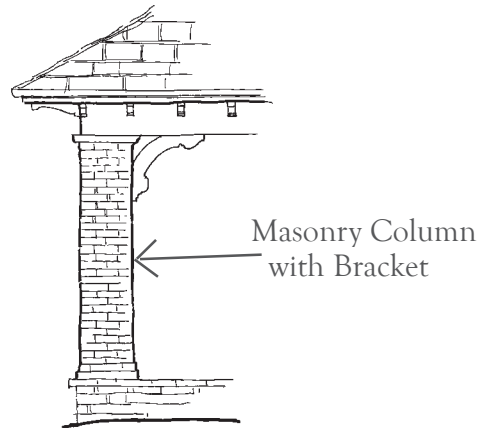
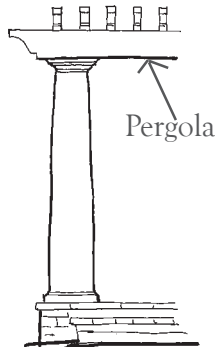
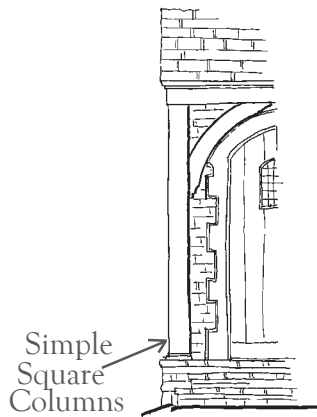
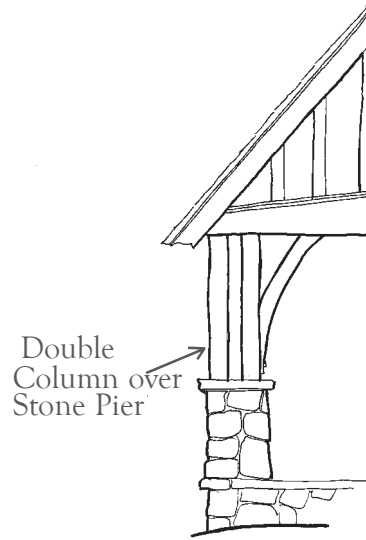
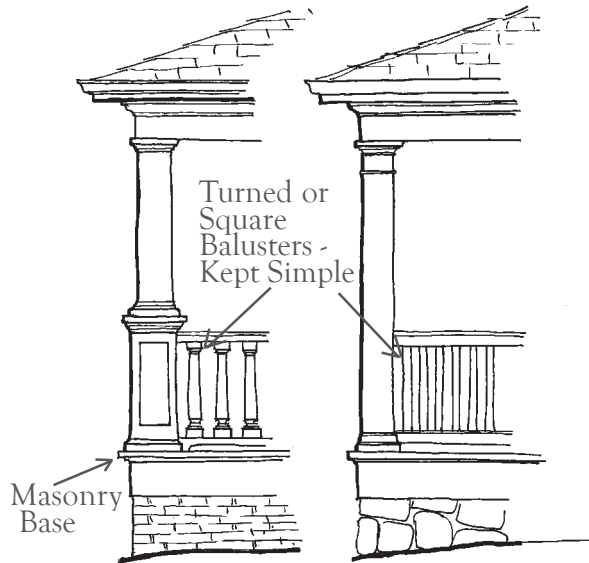
# ARCHITECTURAL DETAILING

## PORCHES



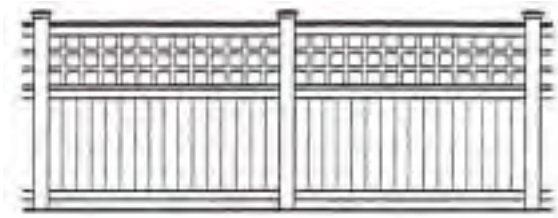
# ARCHITECTURAL DETAILING

## PORCHES & GUTTERS

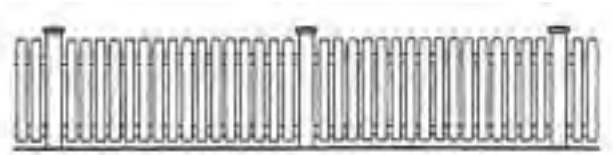


# ARCHITECTURAL DETAILING

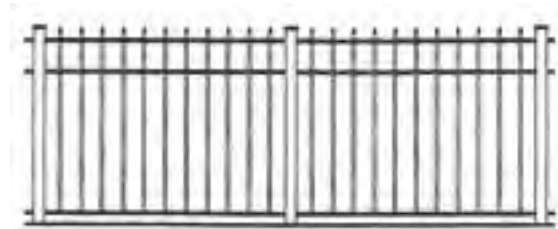
## FENCES



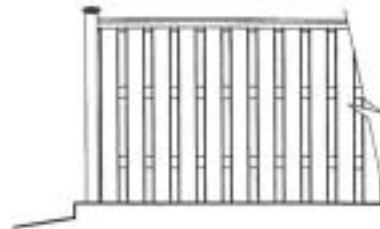
2/3 solid wood with 1/3 open above  
5' - 6' high



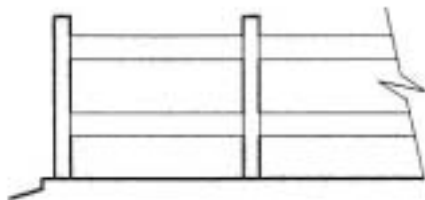
Simple wood picket fence  
36" high



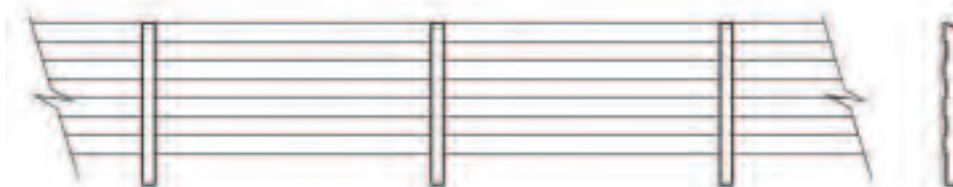
Painted aluminum fence  
5' - 6' high



Shadow Box Fence with cap  
5' - 6' high



36" High split rail fence

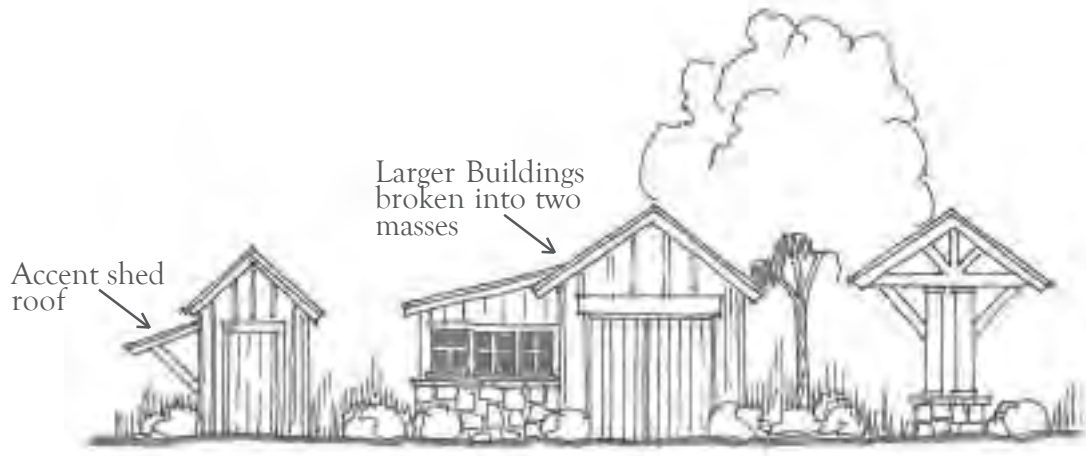


4 - Rail Wood Fence  
4' 5" - 5'



# ARCHITECTURAL DETAILING

## OUTBUILDINGS



# APPROPRIATE DETAILING

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- ◀ -TDL Window
- Hinges and shutter dogs

- Appropriate shutter style ▶
- Width and height of shutters match windows



- ▲ -Correct Casing and Pediment proportions





# APPROPRIATE DETAILING

-CONTINUED-

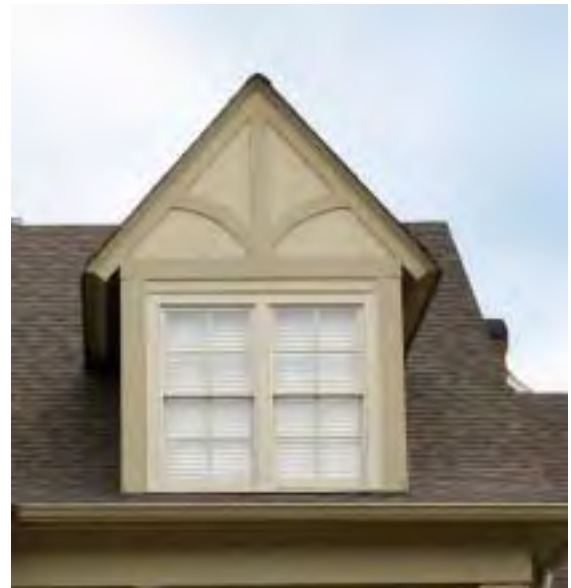


- ◀ -Bracketed Cornice
- Canopy over garage doors
- Carriage style garage doors

- ▼ -Correct proportions
- Minimal overhang



- ◀ -Front and sides of bay are wood
- Correct proportions



# INAPPROPRIATE STYLES & MASSING

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- ▲ -Predominant two story massing
- Two story entry element



- ◀ -Two story entry element
- Dormer Proportions

# INAPPROPRIATE DETAILING



- ◀ -Birdsmouth cornice return
- Window Size
- Dormer out of proportion
- Siding at front of dormer

- Lack of cornice on bay ▶
- Stone on bay



- ▲ -Shutters inappropriate for windows
- Applied Shutters
- GBG Windows



# ARCHITECTURAL SUBMITTALS FOR REVIEW

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All homes proposed for construction in Retreat on West Point Lake must be submitted for review by the Design Review Board.

The review process is broken into two phases:

- Preliminary Submittal
- Final Submittal

## Preliminary Submittal (without fee)

The purpose of the preliminary submittal is to review the overall character of the home and its compliance with the design guidelines prior to the purchase of the plans or completion of the construction documents if the home is to be custom designed. This submittal should include all floor plans as well as the front elevation. This may be in any form as long as the plans are defined and the design intent is clear in the exterior elevation.

Preliminary submittals should include a preliminary site plan with the home, driveway and other site improvements located on the plat of the lot.

## Final Submittal (with fee)

The purpose of the final submittal is to review all of the details, materials, style and colors to be utilized in the home. This submittal should include two copies of the following:

- All Floor Plans (lower, main and upper )
- Front, Side and Rear Elevations illustrating all Finish materials
- Site Plan showing all site improvements as well as the final grading plan and finish floor elevations for the home
- Landscape Plan
- Completed submittal form specifying all materials, colors and finishes (colors & materials can be submitted later but must be approved before applied/painted)

\*All Plans need to be 11 x 17

Review fee is \$550.00 payable to Retreat on West Point Lake DRB and is due at time of final submittal.

Send Submittals to :  
Retreat on West Point Lake  
Design Review Board  
37 S. Lafayette Square  
Lagrange, GA 30240

Upon submittal of the information as outlined above the architectural review board will review the plans and return the submittal form marked either: approved, revise and resubmit or declined.



# RETREAT ON WEST POINT LAKE ARCHITECTURAL REVIEW SUBMITTAL FORM

---

OWNERS'S NAME: \_\_\_\_\_ LOT NUMBER: \_\_\_\_\_

STREET ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ CELL: \_\_\_\_\_ E-MAIL: \_\_\_\_\_

SQ. FOOTAGE: \_\_\_\_\_ BUILDER'S NAME: \_\_\_\_\_

PHONE: \_\_\_\_\_ CELL: \_\_\_\_\_ E-MAIL: \_\_\_\_\_

**\*\*PLEASE ALLOW 10 BUSINESS DAYS FOR PLANS TO BE REVIEWED AFTER THEY HAVE BEEN RECEIVED\*\***

## ALL SUBMITTALS MUST INCLUDE :

### PRELIMINARY SUBMITTAL

- ALL FLOOR PLANS (LOWER, MAIN AND UPPER )
- FRONT ELEVATION ( ILLUSTRATING ALL EXTERIOR MATERIALS AND LOCATIONS )
- SITE PLAN ( SHOWING LOCATION OF HOUSE ON SITE AS WELL AS DRIVEWAY, PATIOS, DECKS, SEPTIC SYSTEMS AND WELLS, ETC.)

### FINAL SUBMITTAL (PRIOR TO ANY LAND DISTURBANCE)

\*INCLUDE 2 COPIES

- ALL FLOOR PLANS (LOWER, MAIN AND UPPER ) 11 x 17
- FRONT ELEVATION ( ILLUSTRATING ALL EXTERIOR MATERIALS AND LOCATIONS ) 11 x17
- SIDE AND REAR ELEVATIONS ( ILLUSTRATING ALL EXTERIOR MATERIALS AND LOCATIONS ) 11 x 17
- SITE PLAN ( FINAL SITE PLAN FOR DRB REVIEW SHOWING ALL SITE IMPROVEMENTS AS WELL AS FINAL GRADING )
- LANDSCAPE PLAN
- COMPLETED SUBMITTAL FORM SPECIFYING ALL EXTERIOR MATERIALS, COLORS AND FINISHES INCLUDING SAMPLE BOARDS
- SUBMITTAL FEE OF \$550.00 PAYABLE TO RETREAT ON WEST POINT LAKE DRB

Send Submittals to :  
Retreat on West Point Lake  
Design Review Board  
37 S. Lafayette Square  
Lagrange, GA 30240







# APPROVED PLAN LIBRARY

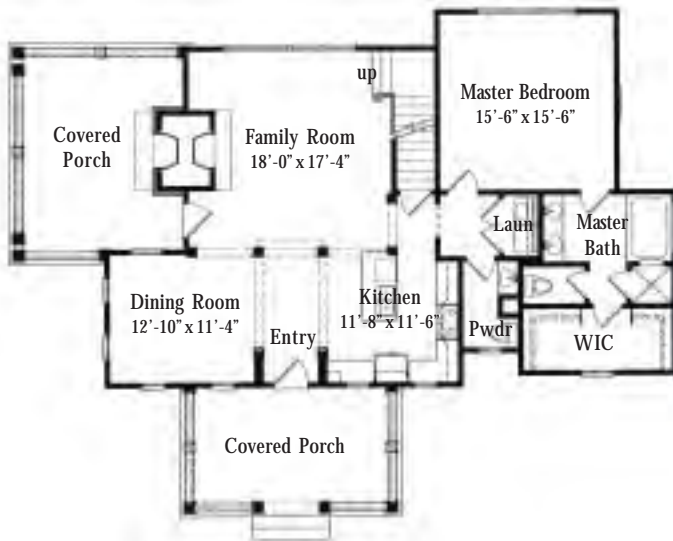
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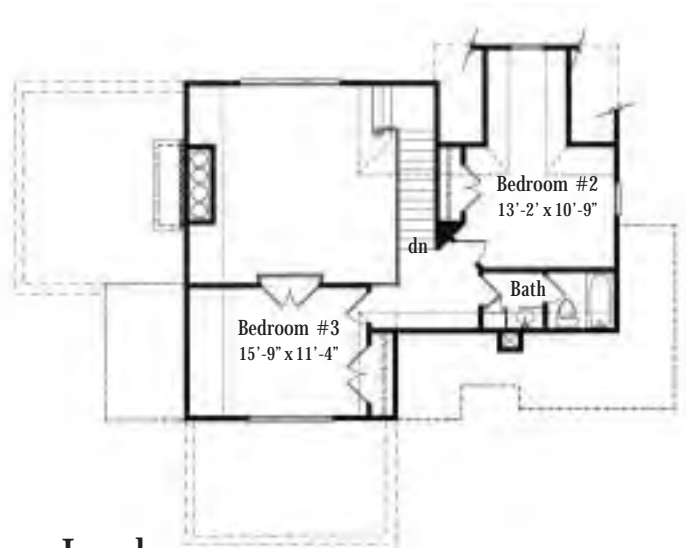


# PIEDMONT COTTAGE

1,921 sq. ft



**Main Level**  
1,335 sq. ft



**Upper Level**  
586 sq. ft

- Width: 58'4" Depth: 44'0"
- Basement Foundation
- Ceiling Heights: Main 9' Upper 8'

**CALDWELL • CLINE**  
ARCHITECTS • DESIGNERS  
222 CRESCENT CIRCLE MARIETTA GA 30064  
PHONE 770-424-3882 FAX 678-668-8930

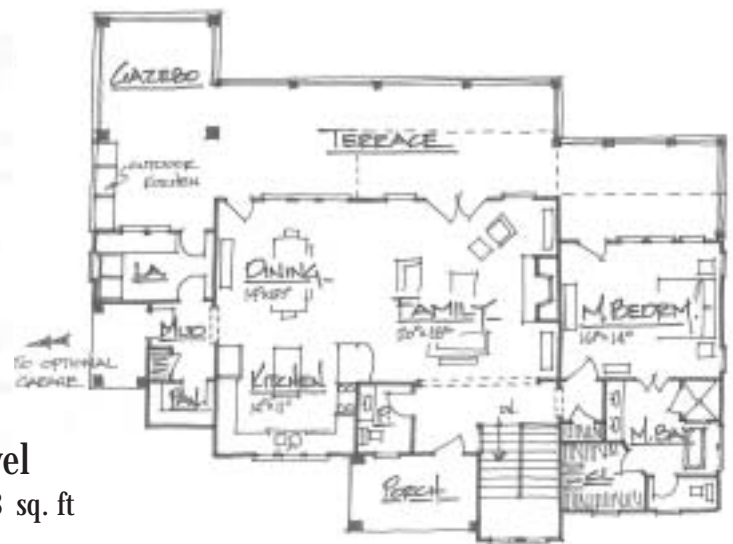


# LAKEVIEW COTTAGE

3,256 sq. ft



Lower Level  
1,628 sq. ft



Main Level  
1,628 sq. ft



Rear Elevation

- Width: 65'0" Depth: 56'0"
- Basement Foundation
- Ceiling Heights: Main 10' Upper 9'

**CALDWELL • CLINE**  
ARCHITECTS • DESIGNERS  
222 CRESCENT CIRCLE MARIETTA GA 30064  
PHONE 770-424-3882 FAX 678-668-8930

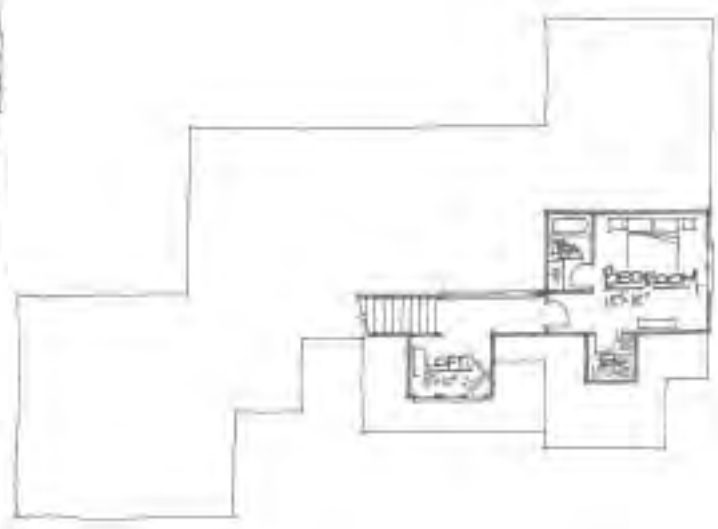


# WEST POINT COTTAGE

1,963 sq. ft



**Main Level**  
1,657 sq. ft



**Upper Level**  
306 sq. ft

- Width: 72'6" Depth: 54'0"
- Basement Foundation
- Ceiling Heights: Main 10' Upper 9'

**CALDWELL • CLINE**  
ARCHITECTS • DESIGNERS  
222 CRESCENT CIRCLE MARIETTA GA 30064  
PHONE 770-424-3882 FAX 678-668-8930





# SKYLINE POINT

1,937 sq. ft



**Main Level**  
1,247 sq. ft



**Upper Level**  
690 sq. ft

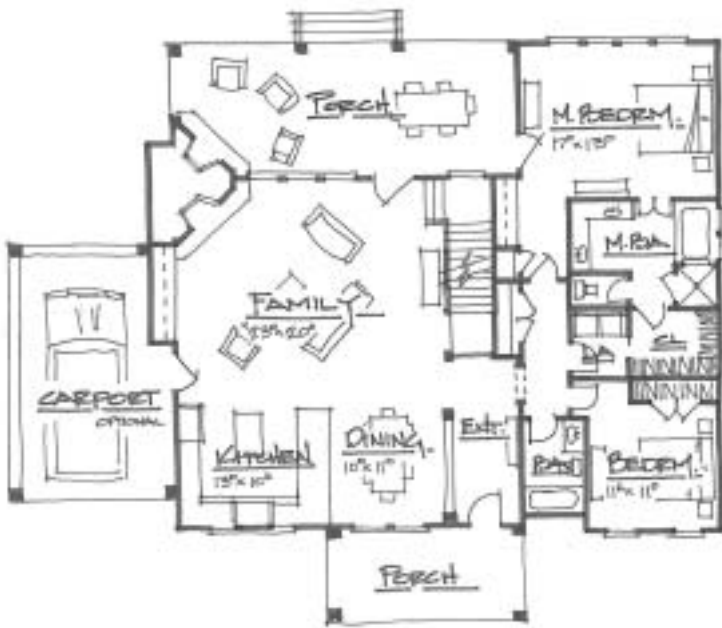
- Width: 47'0" Depth: 44'0"
- Crawl Foundation
- Ceiling Heights: Main 10' Upper 9'

**CALDWELL • CLINE**  
ARCHITECTS • DESIGNERS  
222 CRESCENT CIRCLE MARIETTA GA 30064  
PHONE 770-424-3882 FAX 678-668-8930

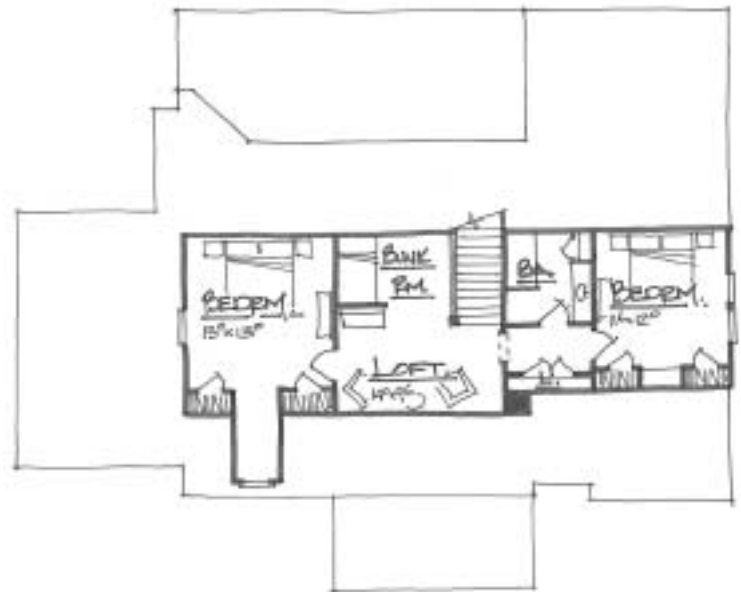


# ROCKY VILLA

2,470 sq. ft



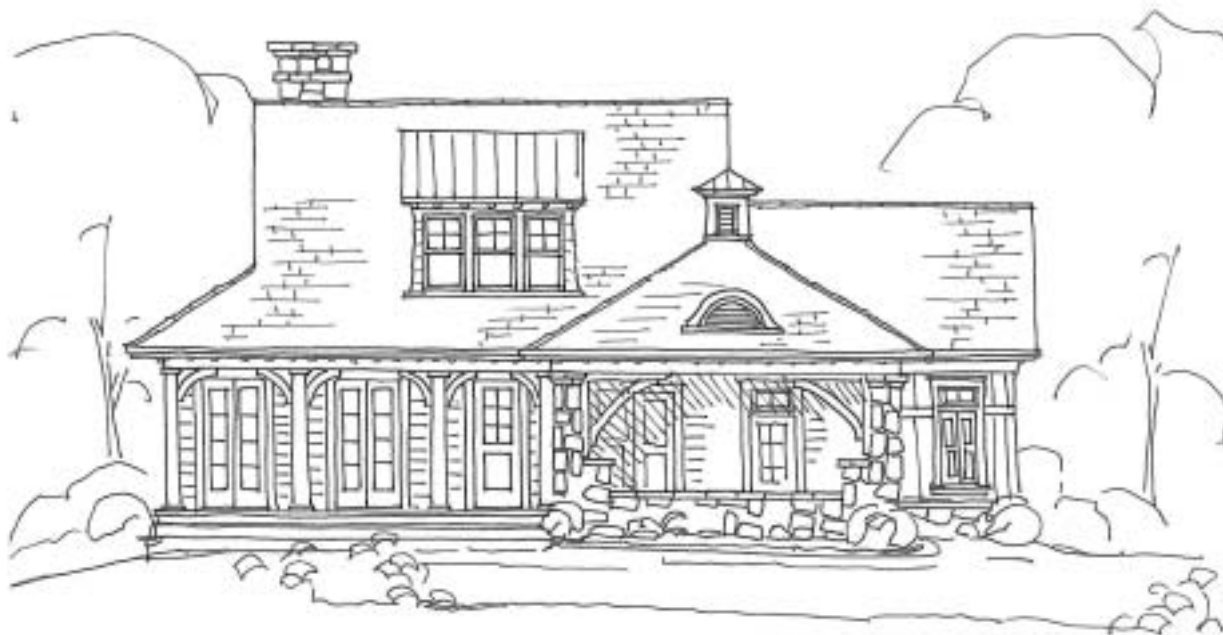
**Main Level**  
1,720 sq. ft



**Upper Level**  
750 sq. ft

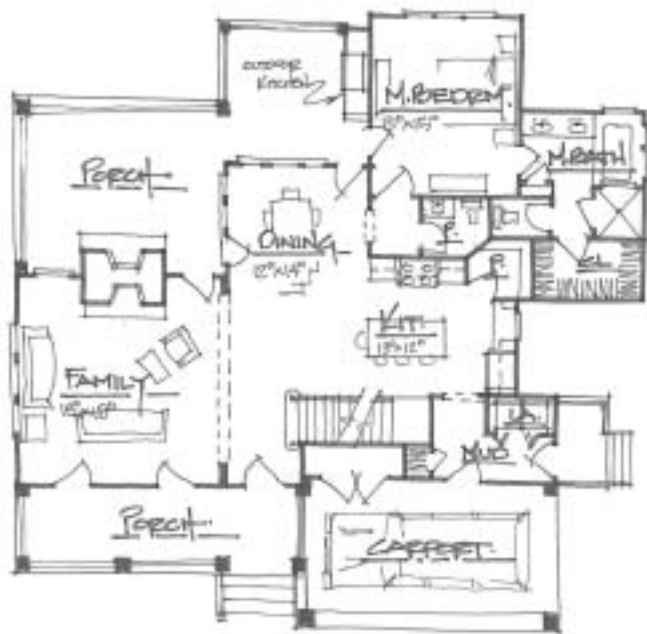
- Width: 63'0" Depth: 51'6"
- Basement Foundation
- Ceiling Heights: Main 10' Upper 9'

**CALDWELL • CLINE**  
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PHONE 770-424-3882 FAX 678-668-8930

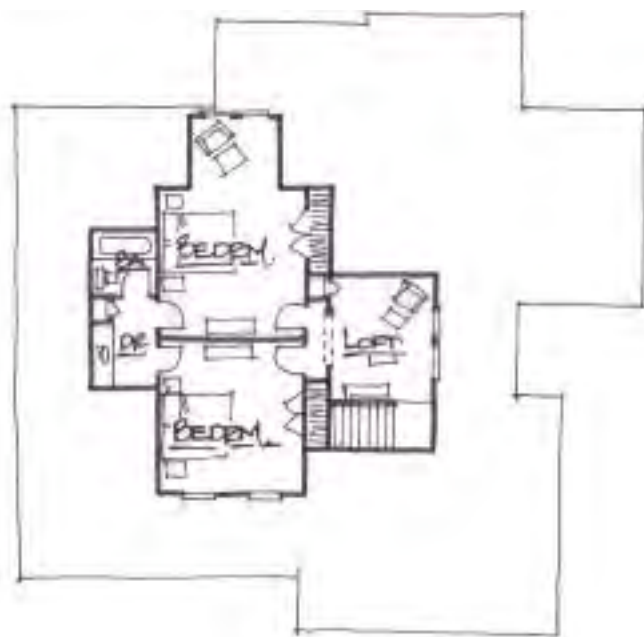


# HAWTHORNE COTTAGE

2,287 sq. ft



**Main Level**  
1,472 sq. ft



**Upper Level**  
815 sq. ft

- Width: 56'6" Depth: 54'9"
- Basement Foundation
- Ceiling Heights: Main 10' Upper 9'

**CALDWELL • CLINE**  
ARCHITECTS • DESIGNERS  
222 CRESCENT CIRCLE MARIETTA GA 30064  
PHONE 770-424-3882 FAX 678-668-8930





# AZALEA

2,770 sq. ft



**Main Level**  
1,575 sq. ft



**Upper Level**  
1,195 sq. ft



**Rear Elevation**

- Width: 50'6" Depth: 64'0"
- Basement Foundation
- Ceiling Heights: Main 10' Upper 9'

**CALDWELL • CLINE**  
ARCHITECTS • DESIGNERS  
222 CRESCENT CIRCLE MARIETTA GA 30064  
PHONE 770-424-3882 FAX 678-668-8930



# BOUGAINVILLE

2,780 sq. ft



**Main Level**  
1,755 sq. ft



**Upper Level**  
1,025 sq. ft



**Rear Elevation**

- Width: 51'0" Depth: 56'0"
- Basement Foundation
- Ceiling Heights: Main 10' Upper 9'

**CALDWELL • CLINE**  
ARCHITECTS • DESIGNERS  
222 CRESCENT CIRCLE MARIETTA GA 30064  
PHONE 770-424-3882 FAX 678-668-8930



# EVERGREEN

3,155 sq. ft



**Main Level**  
1,960 sq. ft



**Upper Level**  
1,195 sq. ft

- Width: 53'0" Depth: 61'0"
- Basement Foundation
- Ceiling Heights: Main 10' Upper 9'

**CALDWELL • CLINE**  
ARCHITECTS • DESIGNERS  
222 CRESCENT CIRCLE MARIETTA GA 30064  
PHONE 770-424-3882 FAX 678-668-8930





# YELLOW JACKET CREEK

1,855 sq. ft



**Main Level**  
1,580 sq. ft



**Upper Level**  
275 sq. ft

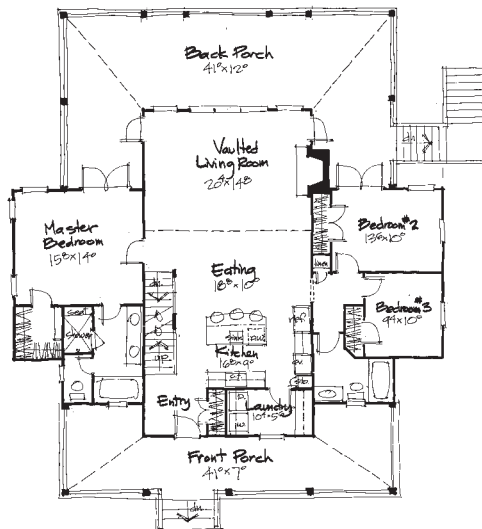
- Width: 48'0" Depth: 60'0"
- Basement Foundation
- Ceiling Heights: Main 10' Upper 9'



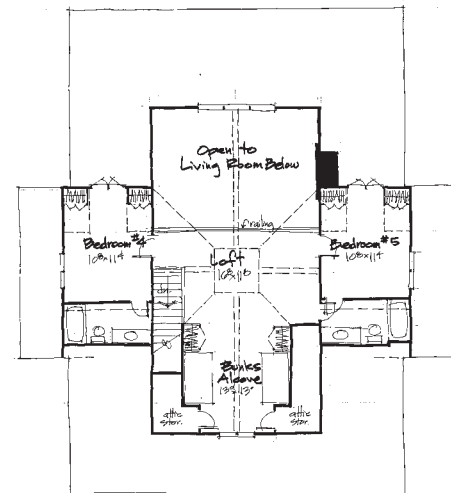


# CUPOLA COTTAGE

2,446 sq. ft



**Main Level**  
1,622 sq. ft



**Upper Level**  
824 sq. ft



**Rear Elevation**

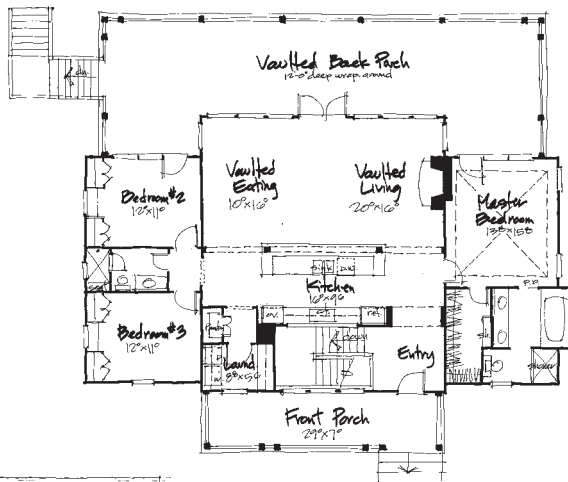
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- Basement Foundation
- Ceiling Heights: Main 9' Upper 9'



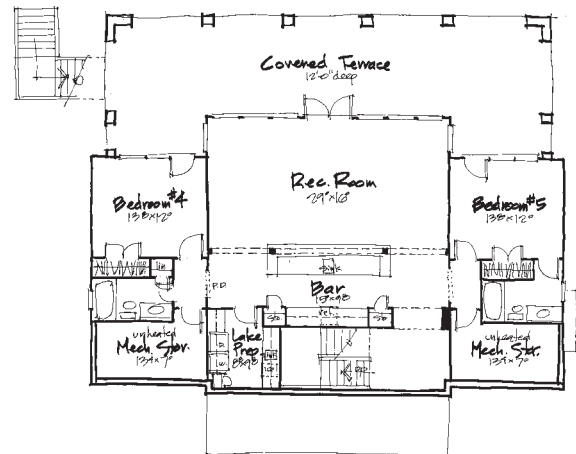


# DOUBLE ROCK

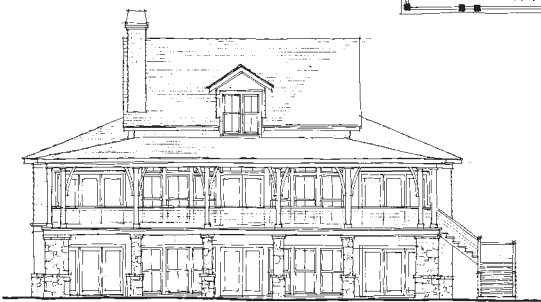
2,230 sq. ft



**Main Level**  
1,760 sq. ft



**Upper Level**  
470 sq. ft



**Rear Elevation**

- Width: 48'0" Depth: 60'0"
- Basement Foundation
- Ceiling Heights: Main 10' Upper 9'



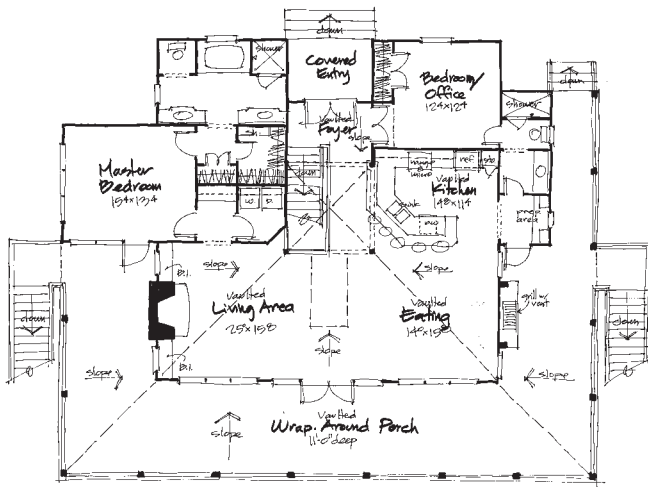




Rear Elevation

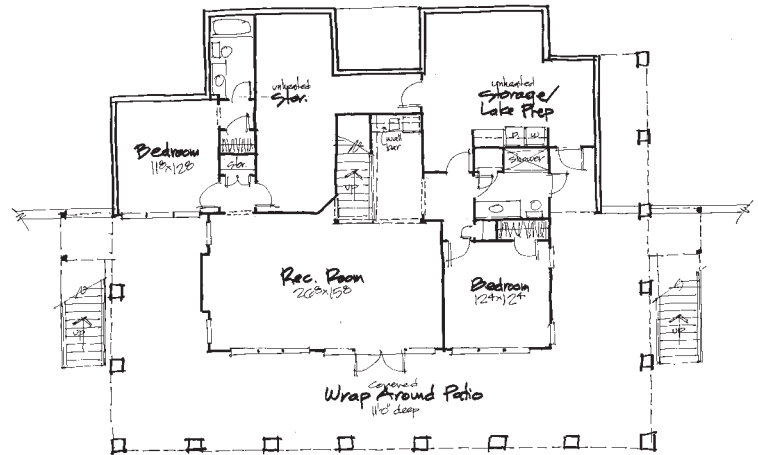
# SUNSET COTTAGE

2,930 sq. ft



Main Level

1,786 sq. ft



Lower Level

1,144 sq. ft

- Width: 62' 0" Depth: 50' 0"
- Basement Foundation
- Ceiling Heights: Main 10' Lower 9'

